

DE Home Inspections

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Property Inspection Report









Client(s): **Client**
 Property address: **Client**
 Inspection date: **Thursday, January 01, 2009**

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How to Read this Report

This report is organized by the property's functional areas. Within each functional area, descriptive information is listed first and is shown in bold type. Items of concern follow descriptive information. Concerns are shown and sorted according to these types:

	Safety	Poses a risk of injury or death
	Repair/Replace	Recommend repairing or replacing
	Repair/Maintain	Recommend repair and/or maintenance
	Maintain	Recommend ongoing maintenance
	Evaluate	Recommend evaluation by a specialist
	Monitor	Recommend monitoring in the future
	Comment	For your information
	Conductive conditions	Conditions conducive for wood destroying insects or organisms (Wood-soil contact, shrubs in contact with siding, roof or plumbing leaks, etc.)

General Information

Report number: 20090101

Time started: 9am

Present during inspection: Client, Realtor

Client present for discussion at end of inspection: Yes

Weather conditions during inspection: Dry (no rain)

Type of building: Single family


Buildings inspected: One house

Age of main building: 56 yrs built 1957

Source for main building age: Property listing

Front of building faces: West

Occupied: Yes

1)  Some areas and items at this property were obscured by furniture. This often includes but is not limited to walls, floors, windows, inside and under cabinets, under sinks, on counter tops, in closets, behind window coverings, under rugs or carpets, and under or behind furniture. Areas around the exterior, under the structure, in the garage and in the attic may also be obscured by stored items. The inspector in general does not move personal belongings, furnishings, carpets or appliances. When furnishings, stored items or debris are present, all areas or items that are obscured, concealed or not readily accessible are excluded from the inspection. The client should be aware that when furnishings, stored items or debris are eventually moved, damage or problems that were not noted during the inspection may be found.

Grounds

Limitations: Unless specifically included in the inspection, the following items and any related equipment, controls, electric systems and/or plumbing systems are excluded from this inspection: detached buildings or structures; fences and gates; retaining walls; underground drainage systems, catch basins or concealed sump pumps; swimming pools and related safety equipment, spas, hot tubs or saunas; whether deck, balcony and/or stair membranes are watertight; trees, landscaping, properties of soil, soil stability, erosion and erosion control; ponds, water features, irrigation or yard sprinkler systems; sport courts, playground, recreation or leisure equipment; areas below the exterior structures with less than 3 feet of vertical clearance; invisible fencing; sea walls, docks and boathouses; retractable awnings. Any comments made regarding these items are as a courtesy only.

Condition of fences and gates: Appeared serviceable

Fence and gate material: Chain link

Condition of retaining walls: Appeared serviceable

Retaining wall material: Masonry block

Site profile: Minor slope

Condition of driveway: Appeared serviceable

Driveway material: Poured in place concrete

Condition of decks, porches and/or balconies: Appeared serviceable

Deck, porch and/or balcony material: Wood

Condition of stairs, handrails and guardrails: Required repairs, replacement and/or evaluation (see comments below)

Exterior stair material: Wood



2)   Guardrails at one or more locations were loose and wobbly. Recommend that a qualified contractor replace or repair guardrails per standard building practices.



Photo 2-1



Photo 2-2



3)   Cracks, holes, settlement, heaving and/or deterioration resulting in trip hazards were found in the driveway. For safety reasons, recommend that a qualified contractor repair as necessary.



Photo 3-1



Photo 3-2


- 4)  Most areas of the deck substructure were inaccessible due to limited space below, permanently installed skirting. These areas couldn't be evaluated and are excluded from the inspection.



Photo 4-1



Photo 4-2

Exterior and Foundation

Limitations: The inspector performs a visual inspection of accessible components or systems at the exterior. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris; wall structures obscured by coverings such as siding or trim. Some items such as siding, trim, soffits, vents and windows are often high off the ground, and may be viewed using binoculars from the ground or from a ladder. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement.

Condition of wall exterior covering: Appeared serviceable

Apparent wall structure: Wood frame

Wall covering: Vinyl

Condition of foundation and footings: Appeared serviceable

Apparent foundation type: Finished basement

Foundation/stem wall material: Concrete block


- 5)  One or more minor cracks (1/8 inch or less) were found in the foundation. These didn't appear to be a structural concern, but recommend sealing them to prevent water infiltration and monitor them in the future. Numerous products exist to seal such cracks including hydraulic cement, non-shrinking grout, resilient caulks and epoxy sealants.



Photo 5-1



Photo 5-2



Photo 5-3


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- 6)  The back door's doorbell appeared to be inoperable. Recommend that a qualified person repair as necessary.



Photo 6-1


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- 7)  Vegetation such as trees, shrubs and/or vines was in contact with or close to the building exterior. Vegetation can serve as a pathway for wood-destroying insects and can retain moisture against the exterior after it rains. This is a conducive condition for wood-destroying organisms. Recommend pruning, moving or removing vegetation as necessary to maintain at least 6 inches of space between it and the building exterior. A 1-foot clearance is better.



Photo 7-1



Photo 7-2



Photo 7-3

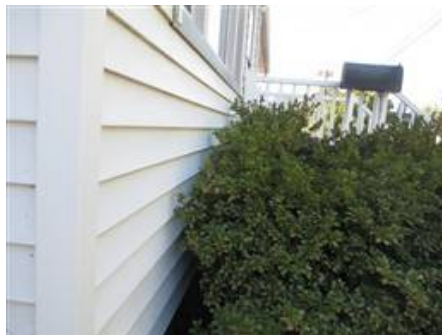


Photo 7-4



- 8)   Caulk was missing in some areas. For example, at wall penetrations. Recommend that a qualified person renew or install caulk as necessary. Where gaps are wider than 1/4 inch, an appropriate material other than caulk should be used. For more information, visit: http://www.reporthost.com/docs/FPL_Caulking_Ins_Out.pdf



Photo 8-1



Photo 8-2

Basement

Limitations: Structural components such as joists and beams, and other components such as piping, wiring and/or ducting that are obscured by under-floor insulation are also excluded from this inspection. Note that the inspector does not determine if support posts, columns, beams, joists, studs, trusses, etc. are of adequate size, spanning or spacing.


The inspector does not guarantee or warrant that water will not accumulate in the basement in the future. Access to the basement during all seasons and during prolonged periods of all types of weather conditions (e.g. heavy rain, melting snow) would be needed to do so. The inspector does not determine the adequacy of basement floor or stairwell drains, or determine if such drains are clear or clogged.

Note that all basement areas should be checked periodically for water intrusion, plumbing leaks and pest activity.

Pier or support post material: Steel

Beam material: Solid wood

Floor structure: Solid wood joists

- 9)  Carpet was installed in the basement. Carpet absorbs and retains moisture and odors in humid environments such as basements. Monitor carpeted areas for moisture and odors in the future. Carpeting may need removal and/or replacement with a moisture-resistant flooring material.


- 10)  Many areas were not evaluated due to lack of access from finished walls and ceiling. These areas are excluded from the inspection.



Photo 10-1



Photo 10-2

Roof

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; solar roofing components. Any comments made regarding these items are made as a courtesy only. Note that the inspector does not provide an estimate of remaining life on the roof surface material, nor guarantee that leaks have not occurred in the roof surface, skylights or roof penetrations in the past. Regarding roof leaks, only active leaks, visible evidence of possible sources of leaks, and evidence of past leaks observed during the inspection are reported on as part of this inspection. The inspector does not guarantee or warrant that leaks will not occur in the future. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high wind and rain, melting snow) would be needed to do so. Regarding the roof drainage system, unless the inspection was conducted during and after prolonged periods of heavy rain, the inspector was unable to determine if gutters, downspouts and extensions performed adequately or were leak-free.

Age of roof surface(s): 20+

Roof inspection method: Traversed

Condition of roof surface material: Appeared serviceable

Roof surface material: Asphalt or fiberglass composition shingles

Roof type: Gable

Apparent number of layers of roof surface material: Multiple

Condition of exposed flashings: Appeared serviceable

Condition of gutters, downspouts and extensions: Appeared serviceable, Required repair, replacement and/or evaluation (see comments below)

Gutter and downspout material: Metal

Gutter and downspout installation: Full


11)  One or more gutters were loose. Rainwater can come in contact with the building exterior or accumulate around the building foundation as a result. This is a conducive condition for wood-destroying organisms. Recommend that a qualified person repair as necessary.



Photo 11-1



Photo 11-2



Photo 11-3



12)  Sealant was used at one or more roof penetrations (e.g. pipes, vents, chimneys) rather than flashing. Sealant is not required for most roof penetrations when installations of such items are done professionally and per standard building practices. The presence of sealant suggests that work was performed by someone who was not a qualified contractor. The sealant will be a maintenance issue in the future since it must be renewed periodically. Recommend that a qualified contractor repair where necessary and per standard building practices. For example, by removing sealant and installing flashing.



Photo 12-1

13)  This asphalt or fiberglass composition roof surface appeared to have two or more layers of shingles. Additional layers of composition shingles typically last only 80% of their rated life, and the shingle manufacturer's warranty may be voided. The client should be aware that all layers of roofing will need to be removed when this roof surface needs replacing.

Attic and Roof Structure

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; areas and components obscured by insulation. Any comments made regarding these items are made as a courtesy only. The inspector does not determine the adequacy of the attic ventilation system. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high/low temperatures, high/low humidity, high wind and rain, melting snow) would be needed to do so. The inspector is not a licensed engineer and does not determine the adequacy of roof structure components such as trusses, rafters or ceiling beams, or their spacing or sizing.

Attic inspection method: Traversed

Location of attic access point #A: Hallway

Condition of roof structure: Appeared serviceable

Roof structure type: Rafters

Ceiling structure: Ceiling joists


Ceiling insulation material: Fiberglass roll or batt

Approximate attic insulation R value (may vary in areas): Less than R-11

Condition of roof ventilation: Required repair, replacement and/or evaluation (see comments below)

Roof ventilation type: Gable end vents


Attic exhaust fan condition: Not determined (out of range for T-stat, inaccessible or obscured)


14)  The facing on fiberglass batt insulation in the was exposed. In most cases, the facing is flammable and poses a fire hazard. Also, the facing typically acts as a vapor barrier, and if located away from the interior surfaces can trap moisture from condensation in the cavity between the facing and the interior spaces. This can be a conducive condition for wood-destroying organisms. Recommend that a qualified person repair as necessary. For example, by reinstalling or replacing insulation per standard building practices and per the manufacturer's instructions.

Note that the inspector was unable to evaluate areas obscured by insulation to determine if any damage (e.g. rot, insect infestation) has already occurred due to moisture accumulation. When insulation repairs are made, recommend that the exposed structure be evaluated and repairs made if necessary.



Photo 14-1

15)  One or more sections of the roof structure appeared to have substandard ventilation, ridge vents were missing, there were too few vents. This can result in high attic and roof surface temperatures, reduce the life of the roof covering materials, and/or increase cooling costs. High levels of moisture are also likely to accumulate in the roof structure or attic, and can be a conducive condition for wood-destroying organisms. Standard building practices require one free square foot of ventilation for every 150 square feet of attic space, and that vents be evenly distributed between the lowest points of the roof structure and the highest points to promote air circulation. Often this means that both soffit vents and ridge or gable end vents are installed. Recommend that a qualified contractor evaluate and repair per standard building practices.

16)  The pull-down attic stairs were not insulated. Typically, such stairs that are not insulated also do not have any weatherstripping installed. Recommend that a qualified person install insulation and weatherstripping per standard building practices for better energy efficiency. For more information, visit:

<http://www.google.com/search?q=insulate+attic+stairs>


17)  The ceiling insulation installed in the attic was substandard and appeared to have an R rating that's significantly less than current standards (R-38). Heating and cooling costs will likely be higher due to poor energy efficiency. Recommend that a qualified contractor install insulation for better energy efficiency and per standard building practices.



Photo 17-1



18)   What appeared to be past water stains were visible on the roof structure at one or more locations in the attic. However, no elevated levels of moisture were found at these stains during the inspection. The stains may have been caused by a past leak. Recommend asking the property owner about past leaks. Monitor these areas in the future, especially after heavy rains to determine if active leaks exist. If leaks are found, recommend that a qualified contractor evaluate and repair as necessary.



Photo 18-1



Photo 18-2


19)  An attic exhaust fan was installed and controlled by a thermostat. However the inspector was unable to operate the fan or fully evaluate it because either the temperature was too cool to activate the thermostat. It is excluded from this inspection.



Photo 19-1

Electric

Limitations: The following items are not included in this inspection: generator systems, transfer switches, surge suppressors, inaccessible or concealed wiring; underground utilities and systems; low-voltage lighting or lighting on timers or sensors. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of grounding or bonding, if this system has an adequate capacity for the client's specific or anticipated needs, or if this system has any reserve capacity for additions or expansion. The inspector does not operate circuit breakers as part of the inspection, and does not install or change light bulbs. The inspector does not evaluate every wall switch or receptacle, but instead tests a representative number of them per various standards of practice. When furnishings, stored items or child-protective caps are present some receptacles are usually inaccessible and are not tested; these are excluded from this inspection. Receptacles that are not of standard 110 volt configuration, including 240-volt dryer receptacles, are not tested and are excluded. The functionality of, power source for and placement of smoke and carbon monoxide detectors is not determined as part of this inspection. Upon taking occupancy, proper operating and placement of smoke and carbon monoxide detectors should be verified and batteries should be changed. These devices have a limited lifespan and should be replaced every 10 years. The inspector attempts to locate and evaluate all main and sub-panels. However, panels are often concealed. If panels are found after the inspection, a qualified electrician should evaluate and repair if necessary. The inspector attempts to determine the overall

electrical service size, but such estimates are not guaranteed because the overall capacity may be diminished by lesser-rated components in the system. Any repairs recommended should be made by a licensed electrician.

Electric service condition: Appeared serviceable

Primary service type: Overhead

Number of service conductors: 3

Service voltage (volts): 120-240

Estimated service amperage: Not determined (components inaccessible or obscured)

Primary service overload protection type: Circuit breakers

Service entrance conductor material: Not determined (components inaccessible or obscured)

Main disconnect rating (amps): Not determined

System ground: Ground rod(s) in soil, Cold water supply pipes

Condition of main service panel: Not determined (inaccessible or obscured, or panel not opened)

Location of main service panel: Basement

Condition of branch circuit wiring: Serviceable, Required repair, replacement and/or evaluation (see comments below)

Branch circuit wiring type: Non-metallic sheathed




Solid strand aluminum branch circuit wiring present: None visible

Smoke alarms installed: Yes, but not tested

Carbon monoxide alarms installed: No, recommend install

Smoke alarm power source(s): Battery

Location of main disconnect: Breaker at bottom of main service panel

20)    One or more electric receptacles (outlets) at the bathroom(s), exterior had no visible ground fault circuit interrupter (GFCI) protection, or the inspector was unable to determine if GFCI protection was present. If not GFCI-protected, receptacles in wet areas pose a shock hazard. Recommend that a qualified electrician evaluate and install GFCI protection if necessary and per standard building practices. General guidelines for GFCI-protected receptacles include the following locations:

- Outdoors (since 1973)
- Bathrooms (since 1975)
- Garages (since 1978)
- Kitchens (since 1987)
- Crawl spaces and unfinished basements (since 1990)
- Wet bar sinks (since 1993)
- Laundry and utility sinks (since 2005)

For more information, visit:

<http://www.cpsc.gov/cpsc/pub/pubs/099.pdf>





Photo 20-1



Photo 20-2



Photo 20-3

21)   Panel was manufactured by the Federal Pacific Electric company and used "Stab-Lok" circuit breakers. There is significant evidence that both double and single pole versions of these circuit breakers fail by not tripping when they are supposed to. However, in 2011 the Consumer Products Safety Commission (CPSC) closed an investigation into this product because they did not have enough data to establish that the circuit breakers pose a serious risk of injury to consumers. Regardless, and due to other evidence of safety issues, recommend that a qualified electrician carefully evaluate all Federal Pacific panels and make repairs as necessary. Consider replacing Federal Pacific panels with modern panels that offer more flexibility for new, safer protective technologies like ground fault circuit interrupters (GFCIs) and arc fault circuit interrupters (AFCIs). For more information, visit:

<http://www.inspect-ny.com/fpe/fpepanel.htm>

<http://www.cpsc.gov/cpscpub/prerele/prhtml83/83008.html>

<http://www.google.com/search?q=stab-lok+circuit+breakers+safety>



Photo 21-1



Photo 21-2



22)   The service drop wires had no drip loop where they attached to the service mast, or the drip loop was substandard. This can result in water entering electric panels, and is a potential shock hazard. Recommend that a qualified electrician repair per standard building practices.



Photo 22-1



Photo 22-2





23)   One or more ground fault circuit interrupter (GFCI) type receptacles (outlets) had an open ground. GFCI receptacles will work (trip) without a ground; but a 3-slot receptacle on an open ground circuit can result in appliances that require a ground can be used without one. This is a potential shock hazard. Recommend that a qualified electrician upgrade circuits that require GFCI protection (e.g. in wet areas) with grounded wiring per standard building practices.



Photo 23-1

24)   2-slot receptacles (outlets) rather than 3-slot, grounded receptacles were installed in one or more areas. These do not have an equipment ground and are considered unsafe by today's standards. Appliances that require a ground should not be used with 2-slot receptacles.

Examples of such appliances include computers and related hardware, refrigerators, freezers, portable air conditioners, clothes washers, aquarium pumps, and electrically operated gardening tools. The client should be aware of this limitation when planning use for various rooms, such as an office. Upgrading to grounded receptacles typically requires installing new wiring from the main service panel or sub-panel to the receptacle(s), in addition to replacing the receptacle(s). Consult with a qualified electrician about upgrading to 3-wire, grounded circuits.



Photo 24-1



Photo 24-2



Photo 24-3

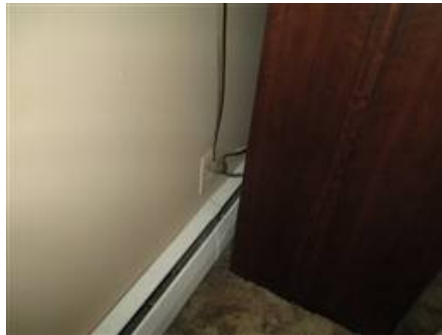


Photo 24-4


25)  The inspector was unable to open and evaluate main panel because the cover was paneled over and blocking access. The panel is excluded from this inspection. Recommend that repairs, modifications and/or cleanup should be made as necessary so panels can be opened and fully evaluated.



Photo 25-1



Photo 25-2

Plumbing / Fuel Systems

Limitations: The following items are not included in this inspection: private/shared wells and related equipment; private sewage disposal systems; hot tubs or spas; main, side and lateral sewer lines; gray water systems; pressure boosting systems; trap primers; incinerating or composting toilets; fire suppression systems; water softeners, conditioners or filtering systems; plumbing components concealed within the foundation or building structure, or in inaccessible areas such as below tubs; underground utilities and systems; overflow drains for tubs and sinks; backflow prevention devices. Any comments made regarding these items are as a courtesy only. Note that the inspector does not operate water supply or shut-off valves due to the possibility of valves leaking or breaking when operated. The inspector does not test for lead in the water supply, the water pipes or solder, does not determine if plumbing and fuel lines are adequately sized, and does not determine the existence or condition of underground or above-ground fuel tanks.

Condition of service and main line: Appeared serviceable

Location of main water meter: Basement

Location of main water shut-off: Basement, Building exterior

Water service: Public
Service pipe material: Copper
Condition of supply lines: Appeared serviceable
Supply pipe material: Copper
Condition of drain pipes: Appeared serviceable
Drain pipe material: Plastic
Condition of waste lines: Appeared serviceable
Waste pipe material: Plastic
Location(s) of plumbing clean-outs: Not determined (obscured, inaccessible or none found)
Vent pipe condition: Appeared serviceable
Vent pipe material: Galvanized steel, Cast iron
Condition of fuel system: Appeared serviceable
Visible fuel storage systems: Below ground
Location of main fuel shut-off valve: By furnace
Location(s) of plumbing clean-outs: Basement


26)  One or more hose bibs (outside faucets) appeared to be inoperable. No water flowed from the bib(s) when turned on. This may be due to a shut-off valve being turned off. Note that the inspector does not operate shut-off valves. Recommend consulting with the property owner about inoperable hose bibs, and if necessary have a qualified plumber make repairs.



Photo 26-1


27)  The copper water service pipe was embedded in concrete or masonry where it was routed through the foundation, and no protection from damage due to thermal expansion was visible. Copper pipes embedded in concrete or masonry should be wrapped with an approved tape or installed through a sleeve for abrasion protection. Recommend that a qualified contractor repair per standard building practices.



Photo 27-1



28)  Significant corrosion or rust was found at one or more water supply valves. This can indicate past leaks, or that leaks are likely to occur in the future. Recommend that a qualified plumber repair as necessary. For example, by replacing valves or fittings.



Photo 28-1
Bar Sink

29)  Either the inspector found evidence of an underground oil storage tank in use for the heating system, or was informed that such a tank was in use. The estimated lifespan for most buried tanks is 10-15 years, and older tanks are at risk of leaking. When leaks occur, the surrounding ground can become contaminated and require expensive mitigation. Recommend attempting to determine the age of the tank and review service records if possible. Also recommend that a qualified contractor or full-service oil provider test the tank for leaks and for water in the bottom. For more information, visit:

<http://www.google.com/search?q=oil+tank+testing>


<http://www.google.com/search?q=underground+oil+tanks>



Photo 29-1



Photo 29-2

30)  Recommend buying oil storage tank replacement insurance available from many full-service oil providers. This can cover up to 100% of the replacement costs of a tank and usually costs less than a few dollars per month.

Also recommend buying pollution liability insurance for oil spills, if available. Some states provide this for free (Washington state), and it may be available from other sources. For more information, visit:

<http://www.google.com/search?q=pollution+liability+insurance>

<http://www.google.com/search?q=oil+tank+insurance>

Water Heater

Limitations: Evaluation of and determining the adequacy or completeness of the following items are not included in this inspection: water recirculation pumps; solar water heating systems; Energy Smart or energy saver controls; catch pan drains. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on water heaters, does not determine if water heaters are appropriately sized, or perform any evaluations that require a pilot light to be lit or a shut-off valve to be operated.

Type: Boiler or tank in common area

Energy source: Oil

Heating, Ventilation and Air Condition (HVAC)

Limitations: The following items are not included in this inspection: humidifiers, dehumidifiers, electronic air filters; solar, coal or wood-fired heat systems; thermostat or temperature control accuracy and timed functions; heating components concealed within the building structure or in inaccessible areas; underground utilities and systems; safety devices and controls (due to automatic operation). Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on heating or cooling system components, does not determine if heating or cooling systems are appropriately sized, does not test coolant pressure, or perform any evaluations that require a pilot light to be lit, a shut-off valve to be operated, a circuit breaker to be turned "on" or a serviceman's or oil emergency switch to be operated. It is beyond the scope of this inspection to determine if furnace heat exchangers are intact and free of leaks. Condensation pans and drain

lines may clog or leak at any time and should be monitored while in operation in the future. Where buildings contain furnishings or stored items, the inspector may not be able to verify that a heat source is present in all "liveable" rooms (e.g. bedrooms, kitchens and living/dining rooms).

General heating system type(s): Radiant

General heating distribution type(s): Pipes and radiators

Condition of hydronic or steam heat system: Appeared serviceable

Type of hydronic or steam heat: Hydronic (hot water), Radiators


Hydronic or steam heat fuel type: Oil

Condition of burners: Appeared serviceable

Condition of venting system: Appeared serviceable

Condition of combustion air supply: Appeared serviceable

Condition of controls: Required repair, replacement and/or evaluation (see comments below)

31)  There were multiple thermostats and the operation of these controls was confusing. Recommend discussing this with the homeowner and have a qualified HVAC contractor evaluate and repair if necessary, and per standard building practices.

Fireplaces, Stoves, Chimneys and Flues

Limitations: The following items are not included in this inspection: coal stoves, gas logs, chimney flues (except where visible). Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of drafting or sizing in fireplace and stove flues, and also does not determine if prefabricated or zero-clearance fireplaces are installed in accordance with the manufacturer's specifications. The inspector does not perform any evaluations that require a pilot light to be lit, and does not light fires. The inspector provides a basic visual examination of a chimney and any associated wood burning device. The National Fire Protection Association has stated that an in-depth Level 2 chimney inspection should be part of every sale or transfer of property with a wood-burning device. Such an inspection may reveal defects that are not apparent to the home inspector who is a generalist.

Condition of chimneys and flues: Appeared serviceable, Required repair, replacement and/or evaluation (see comments below)


32)  No spark screen or rain cap was installed at one or more chimney flue terminations. Spark screens reduce the chance of embers exiting the flue and causing fires. They also prevent wildlife (e.g. birds, rodents, raccoons) from entering flues. Rain caps prevent water from entering flues, mixing with combustion deposits and creating caustic chemicals which can corrode flues. They also prevent damage to masonry from freeze-thaw cycles and prevent metal components (e.g. dampers, metal firebox liners) from rusting. Recommend that a qualified person install rain caps with spark screens per standard building practices where missing.



Photo 32-1


33)  The brick chimney had some deterioration. For example, loose or missing mortar, cracked, broken, loose or spalled bricks. Loose bricks can pose a safety hazard, and deteriorated masonry can allow water to infiltrate the the chimney structure and cause further damage. Recommend that a qualified contractor repair as necessary.




Photo 33-1



Photo 33-2



Photo 33-3

34)  The masonry chimney crown was cracked. Crowns are meant to keep water off of the chimney structure and prevent damage from freeze-thaw cycles. Chimney crowns are commonly constructed by mounding concrete or mortar on the top chimney surface, however this is substandard. A properly constructed chimney crown should:

- Be constructed using either precast concrete slabs, cast-in-place steel reinforced concrete, solid stone, or metal
- Be sloped down from the flue a minimum of 3 inches of fall per foot of run
- Extend a minimum of 2 1/2 inches beyond the face of the chimney on all sides
- Not directly contact the flue liner (if installed), with the gap filled with flexible caulk
- Have flashing installed between the bottom of the crown and the top of the brick chimney

Recommend that a qualified contractor repair or replace crowns as necessary, and per standard building practices.



Photo 34-1

Kitchen

Limitations: The following items are not included in this inspection: household appliances such as stoves, ovens, cook tops, ranges, warming ovens, griddles, broilers, dishwashers, trash compactors, refrigerators, freezers, ice makers, hot water dispensers and water filters; appliance timers, clocks, cook functions, self and/or continuous cleaning operations, thermostat or temperature control accuracy, and lights. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of the remaining life of appliances, and does not determine the adequacy of operation of appliances. The inspector does not note appliance manufacturers, models or serial numbers and does not determine if appliances are subject to recalls. Areas and components behind and obscured by appliances are inaccessible and excluded from this inspection.

Permanently installed kitchen appliances present during inspection: Range, Oven, Refrigerator

Condition of counters: Appeared serviceable

Condition of cabinets: Appeared serviceable

Condition of sinks and related plumbing: Appeared serviceable, Required repair, replacement and/or evaluation (see comments below)

Condition of range, cooktop: Appeared serviceable

Range, cooktop type: Electric


35)  No exhaust hood was installed over the cook top or range, and no wall-mounted exhaust fan was found nearby. This can be a nuisance for odor and grease accumulation. Where a gas-fired range or cook top is installed, carbon monoxide and excessive levels of moisture can accumulate in living spaces. Lighting may also be inadequate. Recommend that a qualified contractor install a vented and lighted range hood, with the exhaust fan ducted outdoors.



Photo 35-1


- 36)  The sink faucet did not function properly in that the cold water handle did not shut off securely. Recommend that a qualified person repair as necessary.



Photo 36-1

Bathrooms, Laundry and Sinks

Limitations: The following items are not included in this inspection: overflow drains for tubs and sinks; heated towel racks, saunas, steam generators, clothes washers, clothes dryers. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of washing machine drain lines, washing machine catch pan drain lines, or clothes dryer exhaust ducts. The inspector does not operate water supply or shut-off valves for sinks, toilets, bidets, clothes washers, etc. due to the possibility of valves leaking or breaking when operated. The inspector does not determine if shower pans or tub and shower enclosures are water tight, or determine the completeness or operability of any gas piping to laundry appliances.

Location #A: Full bath - Main floor

Location #B: 3/4 bath - Basement

Location #C: Laundry room/area

Location #D: Bar sink

Condition of counters: Appeared serviceable

Condition of cabinets: Appeared serviceable

Condition of flooring: Appeared serviceable

Condition of sinks and related plumbing: Appeared serviceable

Condition of toilets: Appeared serviceable

Condition of bathtubs and related plumbing: Appeared serviceable


Condition of shower(s) and related plumbing: Appeared serviceable


Condition of ventilation systems: Appeared serviceable

Bathroom ventilation type: Spot fans, with individual exhaust ducts

Gas supply for laundry equipment present: No

240 volt receptacle for laundry equipment present: Yes

- 37)  The bathroom with a shower or bathtub at location didn't have an exhaust fan installed. Moisture can accumulate and result in mold, bacteria or fungal growth. Even if the bathroom has a window that opens, it may not provide adequate ventilation, especially during cold weather when windows are closed or when wind blows air into the bathroom. Recommend that a qualified contractor install exhaust fans per standard building practices where missing in bathrooms with showers or bathtubs.

- 38)  The sink drain pipe at location #B used an S-trap rather than a P-trap. Siphons and sudden flows of water in S-Traps can drain all the water out of the trap, leaving it dry. Sewer gases can then enter living areas. Recommend that a qualified plumber repair per standard building practices.

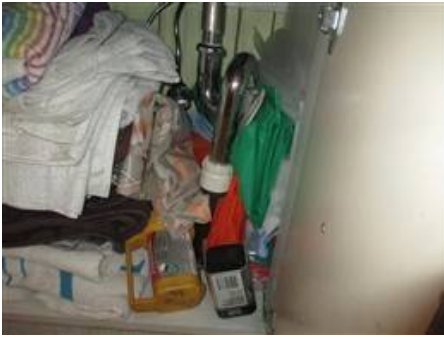


Photo 38-1


39)  Grout in the bathtub surround at location #A was deteriorated (e.g. loose or missing grout) or substandard. Water can damage the wall structure as a result. Recommend that a qualified contractor repair as necessary.



Photo 39-1


40)  Rubber water supply hoses were installed at the clothes washer. These hoses are prone to bursting when deteriorated, which can result in flooding and significant water damage. Recommend upgrading to braided, stainless steel hoses.



Photo 40-1

Interior, Doors and Windows

Limitations: The following items are not included in this inspection: security, intercom and sound systems; communications wiring; central vacuum systems; elevators and stair lifts; cosmetic deficiencies such as nail-pops, scuff marks, dents, dings, blemishes or issues due to normal wear and tear in wall, floor and ceiling surfaces and coverings, or in equipment; deficiencies relating to interior decorating; low voltage and gas lighting systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not evaluate any areas or items which require moving stored items, furnishings, debris, equipment, floor coverings, insulation or similar materials. The inspector does not test for asbestos, lead, radon, mold, hazardous waste, urea formaldehyde urethane, or any other toxic substance. Some items such as window, drawer, cabinet door or closet door operability are tested on a sampled basis. The client should be aware that paint may obscure wall and ceiling defects, floor coverings may obscure floor defects, and furnishings may obscure wall, floor and floor covering defects. If furnishings were present during the inspection, recommend a full evaluation of walls, floors and ceilings that were previously obscured when possible. Determining the cause and/or source of odors is not within the scope of this inspection.

Condition of exterior entry doors: Appeared serviceable

Exterior door material: Wood

Condition of interior doors: Appeared serviceable

Condition of windows and skylights: Appeared serviceable

Type(s) of windows: Metal, Multi-pane, Double-hung
Condition of walls and ceilings: Appeared serviceable
Wall type or covering: Drywall
Ceiling type or covering: Drywall
Condition of flooring: Appeared serviceable
Condition of stairs, handrails and guardrails: Appeared serviceable

- 41)  One or more interior doors jambs were damaged. Recommend that a qualified person replace or repair as necessary.



Photo 41-1


- 42)  Patches or evidence of prior repairs were found in one or more walls or ceilings. Recommend asking the property owner about the repairs (e.g. why necessary, whether prior leaks have occurred).



Photo 42-1


- 43)  Stains were found in one or more ceiling areas. However, no elevated levels of moisture were found. The stain(s) may be due to past roof and/or plumbing leaks. Consult with the property owner and monitor the stained area(s) in the future, especially after heavy or prolonged rain. If elevated moisture is found in the future, then recommend that a qualified contractor evaluate and repair as necessary.



Photo 43-1
Basement - front wall



Photo 43-2
Area above front basement wall



Photo 43-3
Above Main electric panel

- 44) **i** One or more hinged exterior doors had no deadbolt lock installed and relied solely on the entry lockset for security. Recommend installing locksets on exterior doors where missing for added security.



Photo 44-1

Wood Destroying Organism Findings

Limitations: This report only includes findings from accessible and visible areas on the day of the inspection. In addition to the inaccessible areas documented in this report, examples of other inaccessible areas include: sub areas less than 18 inches in height; attic areas less than 5 feet in height, areas blocked by ducts, pipes or insulation; areas where locks or permanently attached covers prevent access; areas where insulation would be damaged if traversed; areas obscured by vegetation. All inaccessible areas are subject to infestation or damage from wood-destroying organisms. The inspector does not move furnishings, stored items, debris, floor or wall coverings, insulation, or other materials as part of the inspection, nor perform destructive testing. Wood-destroying organisms may infest, re-infest or become active at any time. No warranty is provided as part of this inspection.

Visible evidence of active wood-destroying insects: No

Visible evidence of active wood decay fungi: No

Visible evidence of past wood-destroying insects: No

Visible evidence of past wood decay fungi: No

Visible evidence of damage by wood-destroying insects: No

Visible evidence of damage by wood decay fungi: No

Visible evidence of conditions conducive to wood-destroying organisms: Yes Overgrown vegetation

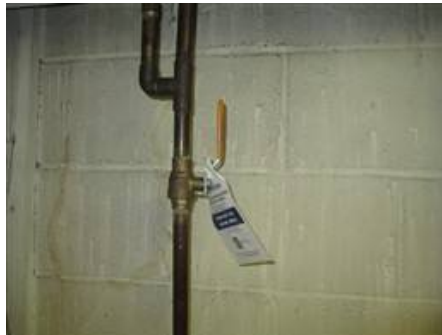


Photo X-1
Exterior Main water shut-off

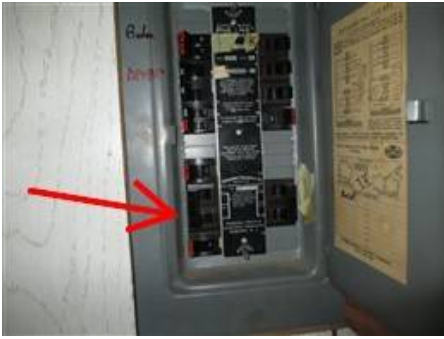


Photo X-2
Interior Main water shut-off



Photo X-3
Main electric shut-off



Photo X-4
Main fuel shut-off



Photo X-5
Front hose bib shut-off in wall above water meter

Photo X-6
Main Sewer clean-out in floor under carpet.

DE Home Inspections
908-239-4081
INSPECTION AGREEMENT
THIS IS A LEGALLY BINDING CONTRACT

Customer _____ Phone _____
Inspection Address _____
Customer Address _____
Inspection Date _____ Time _____

THIS INSPECTION AGREEMENT contains limitations on the scope of the Inspection, remedies and liability. Please read it carefully. By signing below, the Customer represents and warrants that they have secured all approvals necessary for DE Home Inspections to conduct the Inspection of the Property. The Customer also warrants that: (a) they have read this Agreement carefully (b) they bound by all the terms of this Agreement (c) they will read the entire Inspection Report when received and within 5 days of receipt inquire if any questions arise, and (d) their Attorney will check for all Permits & Certifications. Customer understands that the Inspection and Inspection Report are performed and prepared for Customer's sole and exclusive use and is not intended to be transferred to, utilized or relied upon by any other person or entity without prior written permission of DE HOME INSPECTIONS.

The inspection will include a report on the following unless otherwise directed by the customer or circumstances prevent.

- Structural Components Exterior Components Roofing System Components
- Plumbing System Components Electrical System Components Heating System Components
- Cooling System components Interior Components Insulation Components & Ventilation System
- Fireplaces & solid fuel burning appliances

I wish to exclude the Systems and/or Components listed above from the Home Inspection:

This inspection is performed in accordance with the Standards of Practice of the N.J.A.C. 13:40-15. Home Inspectors are governed by and shall comply with these rules. Failure to do so may subject licensee to discipline. We report visible defects of readily accessible areas of the structure (based upon non-invasive visual observation only) apparent on the day of the inspection. If further action is recommended, including (but not limited to) consulting a specialized expert, you must do so at your expense or assume all risks associated with failure to do so. Soil conditions, geological stability, or engineering analysis are beyond the scope and purpose of this inspection. Cosmetic items are not included in this report.

The Inspector is not required to move furniture, personal goods or equipment which may impede access or limit visibility. The Inspector is not required to evaluate the condition or presence of storm windows, storm doors, shutters, awnings and other such accessories, or to determine their functional efficiency. Intercoms, security systems, fences, timers, and water conditioning equipment are not inspected or evaluated. No destructive or disruptive testing procedures are performed by the Inspector. Design problems and adequacies are not within the scope of the inspection. The Inspector will not determine the operational capacity, quality or suitability for a particular use of the items inspected. The inspection does not determine compliance or noncompliance with manufacturer's specifications; past or present.

If the Inspector must return for a subsequent inspection of components which were not able to be inspected, a base fee of \$100.00 per hour will apply.

The inspection is furnished on an opinion only basis and is made solely for the information of the Customer. THE INSPECTION AND REPORT ARE NOT INTENDED TO BE USED AS A GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED. THIS REPORT IS NEITHER AN INSURANCE POLICY THAT ITEMS FOUND ACCEPTABLE WILL REMAIN SO FOR ANY PERIOD OF TIME, NOR THAT EVERY DEFECT WILL BE DISCOVERED. It is further understood and agreed that DE Home Inspections is not an insurer and does not insure against defects found in the property. The inspection is not a compliance inspection or certificate for past or present governmental or local codes or regulations. It does not include air or water quality or the presence or absence of asbestos or the type of insulation. Determining the presence or absence of safety glass, lead paint or any toxic or hazardous materials or substances, environmental hazards including but not limited to radon gas, carbon monoxide, rodents, insects or pests is beyond the scope and purpose of this inspection, Detached buildings are not inspected unless specifically included. The inspection and report shall not include wood destroying organisms unless the wood destroying organism inspection has been requested, and a report thereon submitted in which case the wood destroying organism inspection and report are subject to the terms hereof. Estimates for repair costs are to be used as a guide only, and are based on current rates of professional licensed contractors. ACTUAL REPAIR COSTS MUST BE DETERMINED BY THE CUSTOMER PRIOR TO CLOSING. DO NOT RELY ON COST ESTIMATES IN THE REPORT.

The Customer agrees and understands that if DE HOME INSPECTIONS is found liable for any loss or damage due to negligence or the failure to perform obligations in this Contract, including the improper or negligent performance of the inspection or the improper or negligent reporting of conditions of the property, DE HOME INSPECTIONS'S maximum liability shall be limited to the fee paid to DE HOME INSPECTIONS for the inspection, and this liability shall be exclusive. This limitation of liability specifically covers liability for: damaged property, loss of use of the property, lost profits, consequential damages, special damages, incidental damages and governmental fines and charges.

The Customer must bring claims in a timely manner, (within six months after the date of this Contract). The Customer must provide DE HOME INSPECTIONS the right to examine the subject matter and area of any claim within ten (10) days after discovery and prior to any remedial measures or repairs. If all the above provisions are not met, the Customer waives the right to sue DE HOME INSPECTIONS and DE HOME INSPECTIONS has no liability.

Any controversy or claim arising out of, or relating to this Contract, the inspection or the inspection report shall be settled by binding arbitration administered by the American Arbitration Association. Judgment of the award rendered by the arbitration panel may be entered in any court having jurisdiction hereof. All costs for the arbitration will be the full and sole responsibility of the person or entity bringing the claim. All arbitrators shall have knowledge of the home inspection industry and at least two members of the arbitration panel shall be members of the New Jersey Bar. In ascertaining the degree of care that would be used by a prudent home inspector, all arbitrators shall rely solely upon N.J.A.C. 13:40-15. Initials () The customer authorizes DE Home Inspections to distribute copies of the report and/or discuss the contents with the real estate agent(s), attorney(s) and lender(s) involved in this transaction. Notwithstanding the foregoing this report is intended for the use of the above named customer and no other person or entity may rely on the report for any reason. Customer agrees to hold harmless and indemnify DE Home Inspections for losses, fees and costs incurred as a result of any third party action which may include DE Home Inspections relative to this report. Furthermore, any third party reviewing this report for any reason shall be bound by the terms and conditions of the Inspection Agreement which is an integral part of the report.

I have received a copy and accept all provisions of this Contract IN ITS ENTIRETY. I understand that I have the right to have my attorney review this Contract prior to my signing it.

\$ _____ Home Inspection \$ _____ WDI Inspection \$ _____ Radon Testing

Date _____ Customer _____

Date _____ Inspector _____ License # G100100900